

## **SESC Program**

Part 91, Soil Erosion and Sedimentation Control, of the Natural Resources and Environmental Protection Act, 1994 PA 451, as amended requires a person engaged in an earth change to plan, implement, and maintain acceptable soil erosion and sedimentation control measures in compliance with Part 91, which effectively reduce accelerated soil erosion and off-site sedimentation. As of December of 2016, the Cass County Board of Commissioners designated the Cass County Conservation District the County Enforcing Agency (CEA) responsible for administering and enforcing Part 91 and the rules promulgated under Part 91. The Cass County Conservation District reviews control plans, issues SESC permits, inspects project sites, and issues violation notices with applicable fees, as necessary. Michigan EGLE's Water Resource Division (WRD) has oversight responsibility over the statewide SESC Program and all Part 91 agencies.

## **SESC Application Packet**

### **Permit Requirements**

- A completed application form with landowner signature (or attached designated agent form).
- A site location map - parcel location in relation to nearby crossroads (google map)-we can assist.
- A map showing the Soil Erosion and Sedimentation Control Plan that meets the listed requirements. Please use the template provided in the packet or submit an engineer or landscape architect designed plan on pages no larger than 11"x17" with scale 1"=200' or less, or indication of exact distances between noted features on the plan. Please use the relevant CCCD legend points/markers.
- A completed scheduling/site sequence table form.
- Payment of the permit fees and if necessary, a compliance bond or letter of irrevocable credit (major projects). See Permit Fee Schedule for applicable fees.

### **Permit Issuance**

If the application and site plan meet the legislated requirements, a permit will be issued within the statutory 30 days. The permit hard copy will be mailed to the application address and emailed to the Township Building Inspector, Drain Commissioner, SESC staff, and any email addresses noted in the application.

### **Fees**

Permit fees may be made by cash, check, credit card or money order.

- Make checks payable to **CCCD**
- A credit card payment can be made over the phone – a 3.6% surcharge for credit card processing will be added to the total cost.

Call or contact us by email at the number and email address below with questions, to schedule a plan review meeting (Tuesdays or Thursdays preferred), or to submit forms or plan updates.

*Thank You for Making Cass County Your Home and  
Protecting Our Shared Natural Resources*



**CASS COUNTY  
CONSERVATION  
DISTRICT**

1127 E. State Street, Cassopolis, MI 49031  
(269) 445-8641 x 5 [\*\*SESC@cassccd.org\*\*](mailto:SESC@cassccd.org)

*(updated 3/2025)*



# CASS COUNTY LAND DEVELOPMENT

**If you plan to develop a parcel of land in Cass County, here is a list of permits you may need.**

*Note: Some activities must be done before others can be attempted – see (#) for recommended order to obtain*

*Thank You for Making Cass County Your Home and Protecting Our Shared Natural Resources*

**For more info go to: [casscountymi.org](http://casscountymi.org) or [cassccdistrict.org](http://cassccdistrict.org)**

TOWNSHIP/VILLAGE/CITY

- **ZONING PERMIT (1)**
  - Check with the township/village to see if your parcel(s) can be developed as you planned and for fee information.
- **SPLIT APPROVAL/PARCEL OWNERSHIP (2)**
  - If your parcel will be the result of a property split, you will need township/village/city split approval before you can obtain an address or proceed with your planned development. Check with them for an application/fee payment.
  - According to Michigan State Law, a tax certification is required for a land division. Obtain this from the Treasurer's Office – Cass County Administration Building, 120 N. Broadway, Suite 220, Cassopolis, MI, 49031; 269-445-4468.
- **BUILDING PERMITS / INSPECTIONS (7) ---- PLUMBING PERMITS / INSPECTIONS**  
- **ELECTRICAL PERMITS / INSPECTIONS -- MECHANICAL PERMITS / INSPECTIONS**
  - Issued by the township/village/city/State check with the municipality for fees and contact information. An assigned address will be needed to obtain these permits/inspections. Township contact information can be found at [casscountymi.org](http://casscountymi.org)
- **HOMESTEAD EXEMPTION OR RECIND AFFIDAVITS (10)**
  - These forms should be filed with the appropriate Township Assessor if the owner chooses to claim a parcel as their primary residence and be eligible for the school tax exemption.

COUNTY

- **DRAIN CROSSING PERMIT (3)** – Cass County Drain Commissioner, 340 N O'Keefe, Cassopolis, MI 49031, (269) 445-8611 x 315. Contact the Drain Commissioner if development requires crossing a county drain.
- **STORMWATER STANDARDS** – County approved site development rules apply to major site and plat development projects. Contact Drain Commissioner office (see above) or search for document at [Casscountymi.org](http://Casscountymi.org)
- **ADDRESS & MAPPING (5)** – Cass County Administration Building, 120 N. Broadway, Suite 210, Cassopolis MI 49031; Geographic Information Systems (GIS) Office (269) 445-4432.
  - Required for all new homes and businesses and for obtaining utility services in the county. Obtaining an address does not constitute the approval to either split land or improve it through construction or otherwise.
  - Custom mapping, custom mailing lists, reflective address signs, and assistance with parcel reconfigurations.

ROAD COMMISSION

- **DRIVEWAY PERMIT (4)** – Cass County Road Commission, 340 N O'Keefe, Cassopolis, MI 49031 (269) 445-8611
  - Issued by the Cass County Road Commission if your driveway will be located on a county road (Not needed if located on a private road). Issued by the Michigan Department of Transportation (MDOT) if your driveway will be located on a state highway (search Michigan.gov for MDOT permit gateway or call 844-806-0002).
  - **OTHER PERMITS:** ANNUAL OVERSIZE/OVERWEIGHT, ONE TIME MOVE, PIER; ROADS: Parade/run, Road Right of Way (ROW), Road bore, Storm or sanitary hookup, Sewer installation/open cut, Sign installation, frost law, no spray etc.; UTILITIES: maintenance/repair, tree trimming, logging, right of way, broadband, wireless. Permit forms & fee information online at [casscoroad.com/permits/](http://casscoroad.com/permits/) or call (269) 445-8611

CONSERVATION DISTRICT

- **SOIL EROSION & SEDIMENTATION CONTROL PERMIT (6)**-1127 E State, Cassopolis MI 49031 [SESC@cassccd.org](mailto:SESC@cassccd.org)  
Cass County Conservation District CCCD is the Part 91 County Enforcement Agency - (269) 445-8641 Ext.5.
  - Required prior to commencement of certain earth changes which are within 500 feet of a lake or stream or disturb one or more acres of land. Contact CCCD for review of erosion control plan. Application forms available at [cassccd.org](http://cassccd.org) (\*allow up to 30 days for permitting process)
  - \*Certain projects such as **seawalls**, a project on a wetland, or project of 5 or more acres may have restrictions and/or require additional permits or storm water coverage from Michigan EGLE - contact the Kalamazoo Water Resources Division at 269-567-3500 for more information.

HEALTH DEPARTMENT

- **WELL PERMIT (8)** - 302 S. Front St Dowagiac MI 49047 (269) 782-0064 select Environmental Health department
  - This permit is required for the installation of a private or Type III water supply.
- **SEPTIC SYSTEM PERMIT (9)**
  - Home loan evaluation request, sewage system construction permit, and soil evaluation assessment applications are all available online with an apply & pay online option at [vbcassdhd.org](http://vbcassdhd.org) then select the Environmental Health tab to show all the tab options as well as other environmental health information.
  - The Health Department requires that the owner **call MISS DIG 811 or 1-800-482-7171** and that the utilities are located and marked before any site evaluation that involves disturbing the ground can be made.





**CASS COUNTY  
CONSERVATION DISTRICT**

1127 E. State Street, Cassopolis, MI 49031  
(269) 445-8641 x 5 SESC@cassccdistrict.org



**OFFICE USE ONLY**

Permit Number	
Date Issued	
Expiration Date	
Priority Class	
Payment	

**PERMIT APPLICATION  
For Part 91  
SOIL EROSION AND SEDIMENTATION CONTROL**

**1. APPLICANT** (Please check if applicant is the landowner or designated agent\*)

Name <input type="checkbox"/> Landowner <input type="checkbox"/> Designated Agent (name & company name)				
Mailing Address				
City	State	Zip Code	Telephone Number	
Applicant E-mail Address				
Landowner E-mail Address (if different than above):				

**2. LOCATION**

Township	City/Village	County CASS	Town	Range	Section
Subdivision	Lot No.	Property Parcel Number 14-	Street Address		

**3. PROPOSED EARTH CHANGE**

Project Type:  Residential  Commercial/Industrial  Seawall  Other:

Describe Project	Size of Earth Change (square feet/acres & miles if linear)	Circle the general slope description of the property & project area(s) Steep Fairly-Steep Gradual-Slope Flat	
Name of the Nearest Lake or Stream	Distance of disruption to the nearest lake or stream in feet	Date Project to Start	Date Project to be Completed

**4. SOIL EROSION AND SEDIMENTATION CONTROL PLAN** (Refer to Rule 323.1703)

<b>Note:</b> Submit application along with site control plan map(s) no larger than 11"x17" at a scale of 1" = 200' or less, and a site sequence table. A performance deposit may be required for qualifying projects.	Estimated cost of erosion and sediment control measures
	Plan Preparer's Name and Telephone Number

**5. PARTIES RESPONSIBLE FOR EARTH CHANGE**

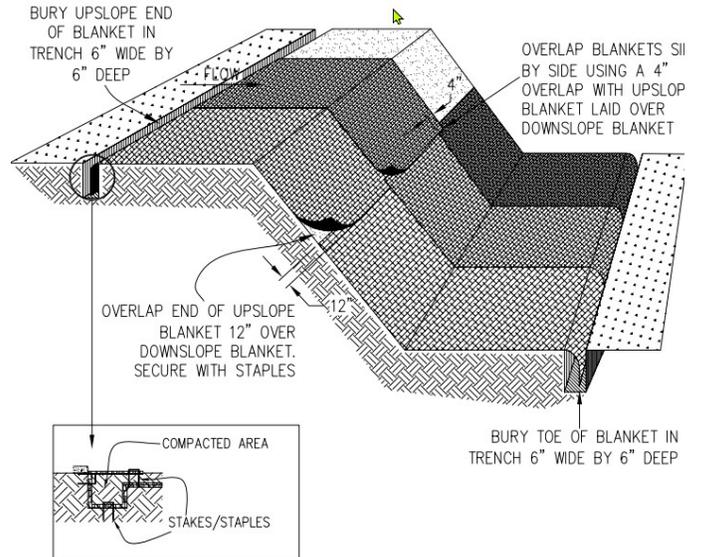
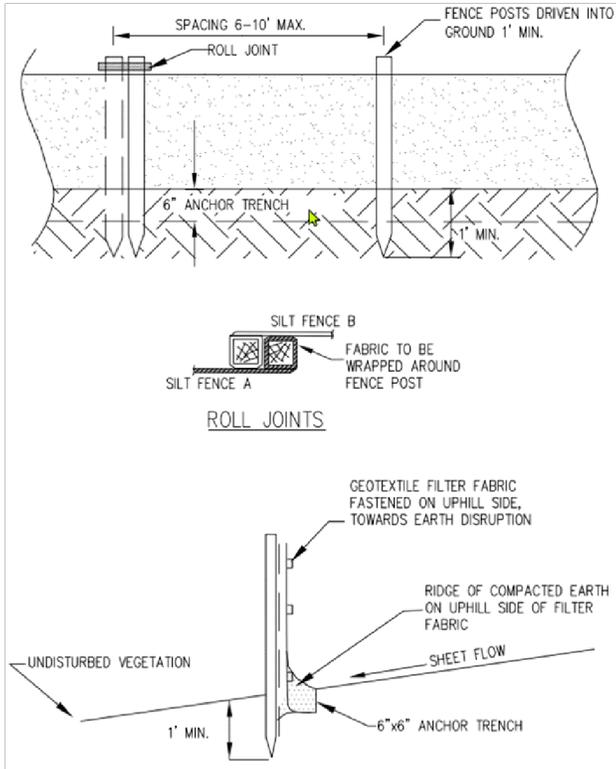
Name of Landowner or Trust (if not provided in Box No. 1 above)		Landowner Mailing Address		
City	State	Zip	Area Code/Telephone Number	
Contractor or on-site contact		Company Name		
Mailing Address	City	State	Zip Code	Area Code/Telephone Number
E-mail Address of contractor or on-site contact:				

I (we) affirm that the above information is accurate and that I (we) will conduct the above-described earth change in accordance with Part 91, Soil Erosion and Sedimentation Control, of the Natural Resource and Environmental Protection Act, 1994 PA 451, as amended, applicable local ordinances, and the documents accompanying this application. I (we) acknowledge this application gives consent to access the property for unscheduled inspections/review and associated visits unless otherwise specified within the submitted application documents.

Landowner's Signature	Print Name	Date
Designated Agent's Signature*	Print Name	Date

\* Designated agent must have the owner sign this permit application or have a written statement from the landowner authorizing him/her to secure a permit in the landowner's name.

# Common SESC Measures Installation Instructions



## Silt Fence

Table 2: Seeding for Temporary Vegetation Cover Types

Plant Type	Planting Zone <sup>1</sup>			Seeding Pounds Per 1,000 Square Feet	Rate Pounds Per Acre
	1. Upper Peninsula	2. Northern Lower Peninsula	3. Southern Lower Peninsula		
Buckwheat	6/15 to 7/15	6/1 to 7/15	6/1 to 7/15	2	75
Cereal Rye	8/1 to 10/1	8/1 to 10/10	8/1 to 10/15	3	120
Oats	5/1 to 8/1	4/15 to 8/1	4/1 to 9/15	2	96
Perennial Ryegrass	8/1 to 10/1	6/1 to 8/1	8/1 to 10/15	0.5	20
Sudangrass	Not Recommended	6/1 to 7/15	6/1 to 7/15	1	40
Wheat	9/10 to 10/1	9/10 to 10/1	9/20 to 10/15	3	120

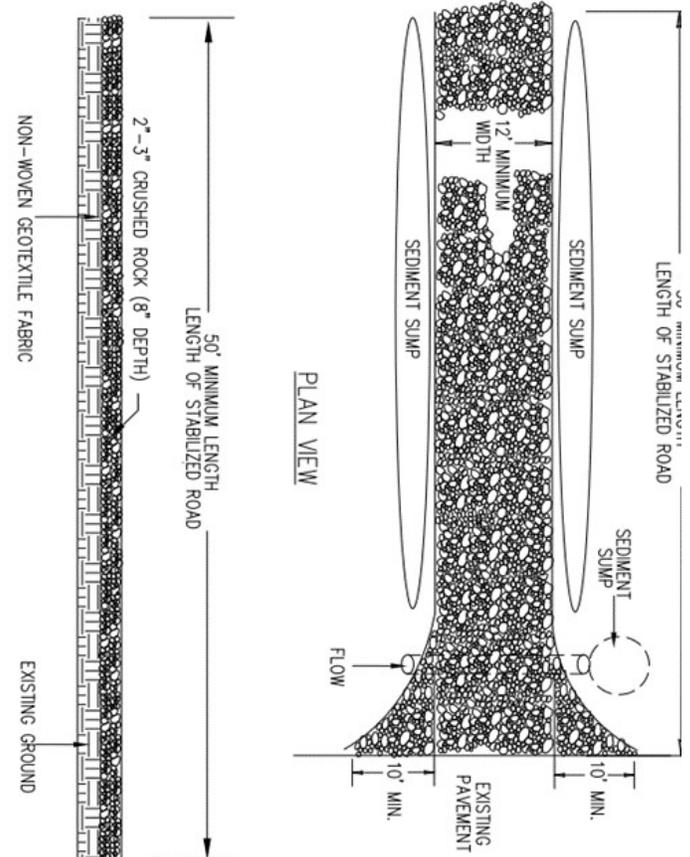
Source: USDA NRCS, 2018. Section 4, Table 4.

Table 3: Seeding Date Ranges for Permanent Vegetation Cover

Planting Zone <sup>1</sup>	With Irrigation and/or Mulch <sup>2</sup>	Without Irrigation or Mulch	Dormant Seeding with Mulch <sup>3</sup>
1. Upper Peninsula	5/1 to 9/10	5/1 to 6/15 or 8/1 to 9/20	10/25 to freeze-up
2. Northern Lower Peninsula	5/1 to 9/20	5/1 to 6/10 or 8/1 to 9/20	10/25 to freeze-up
3. Southern Lower Peninsula	4/1 to 8/1	4/1 to 5/20 or 8/10 to 10/1	11/1 to freeze-up

Source: USDA NRCS, 2018. Section 4, Table 6.

## Mulch Blanket



## Access Drive

# Cass County Soil Erosion & Sedimentation Control Program

269-445-8641 x 5



\_\_\_\_\_ permit #

\_\_\_\_\_ Permittee name

Construction Sequence	Month & Year (i.e. 10-2025)																	
Start time for <b>temporary</b> SESC measures implemented:																		
• Silt Fence		<input type="checkbox"/>																
• Filter Sock/Wattles		<input type="checkbox"/>																
• Rock Access Road		<input type="checkbox"/>																
• Erosion Control Blankets		<input type="checkbox"/>																
• Inlet protection (storm drain)		<input type="checkbox"/>																
• Sediment/Stormwater Basins		<input type="checkbox"/>																
• Drainage/Dewatering System		<input type="checkbox"/>																
• Concrete washout area/other:		<input type="checkbox"/>																
Strip & Stockpile		<input type="checkbox"/>																
Rough Grading- We recommend seeding a cover crop ie. cereal rye, wheat, or oats after grading.		<input type="checkbox"/>																
Construction or Project		<input type="checkbox"/>																
Final Grade		<input type="checkbox"/>																

Circle all applicable measures listed for the start time of **permanent** SESC measure installation

• Sediment/Stormwater Basins	<input type="checkbox"/>																	
• Seeding/Sod/Mulch/Landscaping plants	<input type="checkbox"/>																	
• Pavement/Gravel/Rock/Pavers material type:	<input type="checkbox"/>																	
• Retaining wall(s) material type:	<input type="checkbox"/>																	
• Drainage system or other:	<input type="checkbox"/>																	
<b>Removal of temporary controls upon full site stabilization &amp; grass establishment</b>	<input type="checkbox"/>																	

Briefly describe the maintenance plan for each temporary and permanent SESC measure – circle appropriate measure.

Measure	Responsible Party	Maintenance Plan – note page title/# for additional detail attachments
Silt Fence / Filter Sock/wattle		Properly Install (entrench silt fence), monitor, and repair, as necessary. *see CCCD brochure for install instructions. Details:
Buffer Strips		Create or <b>ensure existing vegetative buffers undisturbed</b> . Details:
Catch Basins/Inlets		Construct, monitor and repair as necessary / install inlet protection, monitor and clean as necessary. Details:
Street Sweeping		<b>Sweep street of any tracked soil as needed</b> . Details:
Vegetation/Mulch	<b>property owner maintains</b>	Apply seed mix w/light straw cover / install sod / hydro-seed / install seeded erosion blanket on slopes 1' rise to 3' run or greater / install heavy mulch. <b>Water to establish. Maintain as needed</b> . Details:
Storm Ponds / Sediment Basins		Construct monitor and repair, as necessary. Details:

Comments/notes of interest/other details:

Office use: Is the soil type categorized for an elevated risk for erosion? YES - NO

\*Soils with substantial risk of eroding on slopes may require additional controls.

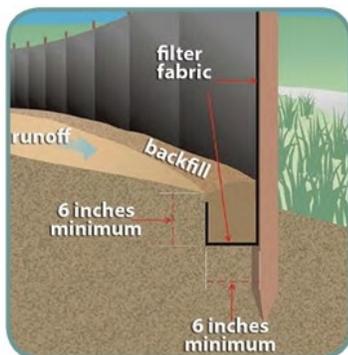
## Properly install & maintain erosion controls and maintain a clean worksite!

It is required that measures be taken to prevent dirt, silt, or erosion runoff from the property where construction is taking place. Doing this protects natural resources and wildlife habitat and keeps site in compliance with the law. Keeping a site clean and clear of obstacles also helps prevent injuries, presents a good image of your work quality to the neighboring lot owners, and protects permanent infrastructure such as storm sewers, drains, and culverts.

Share this summary of installation & maintenance expectations with the contractor and any subcontractors:

- Utilize existing hard surface driveway or install temporary gravel construction entrance.
- Avoid unnecessary disturbance of the existing vegetated topsoil. Split large project areas into phases to lessen area of disturbed soil.
- Apply temporary/permanent seed with light straw cover, hydro-seed or lay sod as soon as possible where applicable.
- Properly entrench silt fencing between the project area and any bodies of water or wetlands, as well between project area and any downslope neighbors and/or roadways.
- Place mulch/erosion blanket on slopes that have 1 foot of rise over 3 foot of run or steeper. Additionally, utilize filter/silt sock or other sediment controls for more severe slopes.
- Street sweep/cleanup each evening and as needed from equipment tracking soil into street.
- Do not “wash away” accumulated mud on or off-site. Instead, scrape or sweep it manually or with a sweeper.
- Provide controls in ditches or swales and protect nearby sewer drain inlets and keep the filter clean of any material from site runoff.
- Contain construction waste by covering them on-site or removing them daily.
- Utilize proper concrete wash out stations or wash out in concrete pumper truck – do not dump in drain.
- Continually inspect and maintain erosion controls to prevent a breach and minimize erodibility.
- Temporary erosion controls must stay in place until complete stabilization with full vegetation is established.
- Place silt fence along the toe of soil stockpiles if close to property lines, roads, or water. All soil piles shall be surrounded by silt fence if allowed to remain in place for more than 7 days. Topsoil piles should be seeded if allowed to remain in place for more than 20 days. Soil piles shall not be placed within 50' from any watercourse.
- Utilize track mats in wet areas and for project access outside of the limits of earth change areas on your control plan as equipment may disturb lawn/vegetation. If disturbance occurs outside of property lines new permitting may be required for the adjacent property.
- If disturbance occurs outside limits of earth change, update our office with changes to the control plan, add controls as needed/required and restore area disturbed within 5 days of disturbance.
- Use safety cones, safety fencing, or caution tape where needed.
- For information about natural shoreline care/protection, bio-engineering and native plants for your lakeshore we recommend visiting <https://www.mishorelinepartnership.org/>
- For information about identifying and controlling invasive species contact the SW x SW Corner CISMA (Cooperative Invasive Species Management Area) coordinator at 269-657-4030 x 5.

*Thank you for doing your part to protect our shared natural resources and to help keep your project site clean and safe.*



### **Properly install a silt fence prior to starting the project:**

*Stakes go on the downhill side. Dig trench first, install fence in downhill side of trench, tuck fabric into trench, keep fabric taut between stakes so that it is not sagging.*

*Then backfill on the uphill side (the side toward the bare soil area) tamp down soil on both sides to compact well.*

*This diagram is from the Macomb County 2018 SESC Fieldbook - look online for more information.*

### Plan Requirements

A person shall prepare a soil erosion and sedimentation control plan for any earth change identified in Part 91 rule 323.1704. A person shall design the plan to effectively reduce accelerated soil erosion and sedimentation and identify factors that may contribute to soil erosion or sedimentation, or both.

The plan shall include, but not be limited to, all the following:

- Name, address, parcel ID number & telephone number of the applicant (*on both Control Plan & Project Location Maps*)
- Starting and completion dates (*on application and site sequence table*)
- Project location map (*shown on a county scale map ie. Google Map*)
- Proximity to lakes and streams (*on application & Control Plan map*)
- Vicinity map to scale with north arrow and neighboring landmarks (*Control Plan map*)
- Limits of earth change = boundary limits of area to be disturbed (*Control Plan map*)
- Existing & proposed on-site contours/slope information (*Control Plan map or another contour map*)
- Existing and proposed on-site drainage and/or dewatering (*Control Plan map & Site sequence table*)
- Existing and proposed site improvements (*Control Plan map & Site sequence table*)
- Predominant land features & on-site vegetation (ex: fence, trees, swales, water, etc.) (*Control Plan map*)
- Soils information (*Control Plan map or other soils map*) – the District can help provide this information.)
- Description and location of all temporary and permanent SESC measures, including installation instructions (*Control Plan map & Site sequence table, addendum detail pages*)
- Earth change and construction schedule (*Site sequence table*)
- Schedule for installing/removing SESC measures (*Site sequence table*)
- Maintenance plan for all SESC measures (*Site sequence table, addendum detail page(s)*)

### Sample Control Plan for a Minor Project (bird's eye view)

Scale  $\frac{1}{4}'' = 40'$

Soil Condition/Types: Sandy mix/Kalamazoo Loam

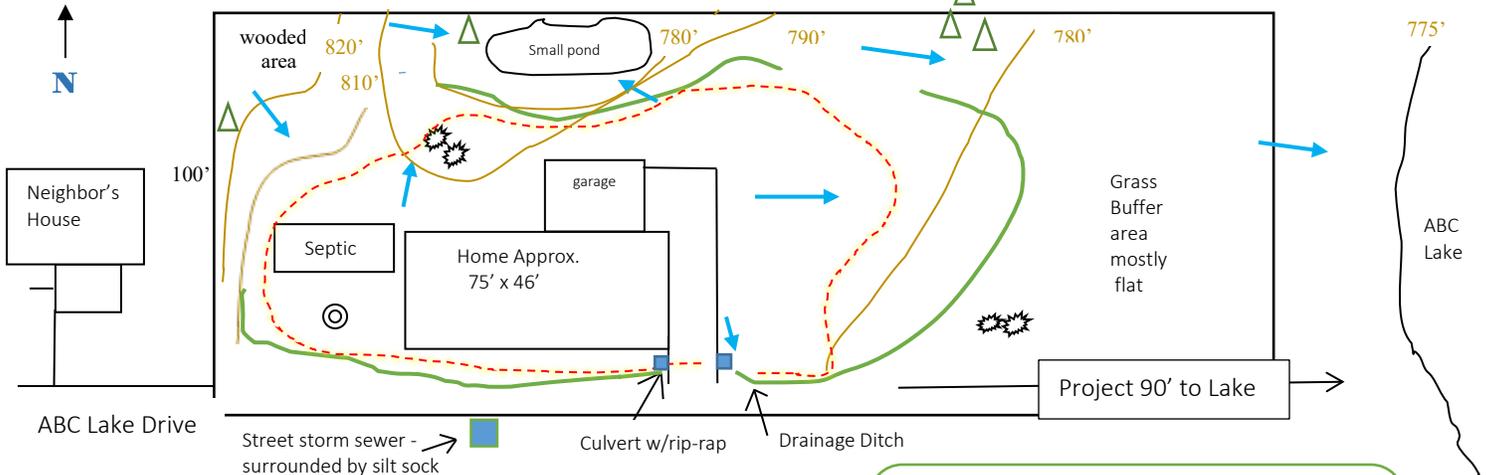
\*Silt fence installed with minimum 30' grass buffer area

- Installation – prior to commencement
- Removal – after vegetation growth

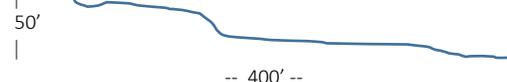
KEY:  Vegetation to Remain  
 Property Line  
 Silt Fence \*

 Contour Lines  
 Drainage Flow  
 Limits of Earth Change (Disturbed Area)

 Soil stock pile



Landscape Cross sectional view  
(elevation labeled in feet)



56229 New Drive  
Lot size W -100' L -300' Area = 30,000 sq. ft.  
Disturbed Area approx. 12,000 sq. ft.





### PERMIT Fee Schedule

Resolution adopted by the Cass County Board of Commissioners on November 17, 2016, effective December 1, 2016.

Updated Forms Fee Schedule adopted by the Cass County Board of Commissioners on April 10, 2025.

*Permit Application Fees include permit filing, plan review of submitted control plan, and regular inspections.*

#### PERMIT FEE & GENERAL EARTH CHANGE REQUIREMENTS

A landowner or developer who contracts for, allows or engages in an earth change (i.e. excavation, fill, grading, applicable landscaping activities) in Cass County shall obtain a permit from the Soil Erosion & Sedimentation CEA (Cass County Conservation District (CCCD)) **prior to commencement of an earth change** which is within 500 feet of a lake or stream or disturbs one or more acres of land. A person engaged in an earth change shall plan, implement, and maintain acceptable soil erosion & sedimentation control measures in conformance with NREPA Act 451 of 1994 Part 91 Soil Erosion and Sedimentation Control, which effectively reduce accelerated soil erosion and off-site sedimentation. A person shall complete an earth change in a manner that limits the exposed area of any disturbed land for the shortest possible period of time as determined by the county enforcing agency. Part 91 requires a person to set forth soil erosion and sedimentation control measures in a plan and make plan available for inspection at all times at the site of the earth change. Temporary or permanent control measure(s) shall be designed for the conveyance of water around, through or from the earth change area to limit the water flow to a non-erosive velocity. A person shall obtain a permit containing state prescribed information and make permit available for inspection at the site of the earth change. If it is not possible to permanently stabilize a disturbed area after an earth change has been completed or if significant earth change activity ceases, then a person shall maintain temporary soil erosion and sedimentation control measures until permanent soil erosion control measures are in place and the area is fully stabilized.

- Allow up to 30 days for review, initial inspection, and issuance of permit.
- Permits must be posted visible to roadside throughout entire project. A permit will be closed upon final inspection verifying full site stabilization and grass establishment.
- Sites with severe slopes and/or plans include extensive erosion control measures should seek engineering advice prior to submittal for permit. Select SESC Plans may require professional engineering review with costs incurred by enforcing agency to be added to total fee and invoiced to property owner.
- A project of 5 or more acres may require a Bond, Surety, or Irrevocable Letter of Credit.
  - First 5 acres \$5,000.00
  - Each additional acre or fraction thereof \$1,000.00
- *A seawall project, a project on a wetland, or project of 5 or more acres may have certain restrictions and/or require additional permits or storm water coverage from the Michigan Department of Environment, Great Lakes, and Energy (EGLE). Since it is the permittee’s responsibility to obtain all necessary permits prior to earth disturbance, the CCCD suggests contacting the Kalamazoo District EGLE office at 269-567-3500 to speak with water resource staff regarding the proposed project.*
- Permits cannot be combined i.e. seawall is separate from new home construction and utility sub-station is separate from transmission line rebuild.
- The owner of property that is subject to a permit under part 91 is responsible for compliance with the terms of the permit that applies to that property.

#### APPLICATION-PERMIT-INSPECTION FEE SCHEDULE \*fees doubled if earth change is started without a permit

##### RESIDENTIAL

###### Minor Residential Project Fee:

\* \$200.00

*(4-month duration-new permit is required if not closed within permit period)*

Earth changes within 500 feet of surface water with a disturbance less than 1,200 square feet in size and can be stabilized with full grass establishment within 4 months. (i.e. installing driveway, patio, landscaping, etc.)

*\*Permit fee reduced by \$50 if the project’s limits of earth change is greater than 250’ from the body of water.*

###### Standard Residential Project Fee:

\$300.00

*(18-month duration-new permit is required if not closed within permit period)*

Earth changes within 500 feet of surface water with a disturbance of up to 2 acres which can be stabilized with full grass establishment within an 18-month period. Each additional acre or fractional acre \$100.00

###### Waiver affidavit fee:

\$50

A permit waiver may be granted for an earth change upon receipt of a signed affidavit from the landowner stating that the earth change will disturb less than 225 square feet and that the earth change will not contribute sediment to lakes or streams or cross property lines. Prepared waivers will be provided to building and/or zoning inspectors.

## **MAJOR PROJECTS, OTHER NON-RESIDENTIAL & LINEAR PROJECTS**

Commercial, Industrial, Sub-Division, Plat Development, Service, Governmental, Recreational, Transportation or Utility Facilities and linear projects such as Transportation, Utilities, Oil, Gas, or Mineral Well: 1 year permit - \$400  
Each additional acre or fractional acre or for a linear project up to 1 acre or 1 mile whichever is greater \$125.00

### **SEAWALL OR OTHER WATER IMPROVEMENT (1 year permit for adjacent to surface water work)**

Seawall, drain, water impoundments, or other water improvement (Usually EGLE permit also required): \$300.00  
Each additional acre or fractional acre \$125.00

Moved seawall section under Major project which would allow for a paid permit extension of 6 months

Major project permit extensions: note-all extensions are non-refundable and must be applied for prior to the expiration of permit or a new permit must be obtained.

- One 6-month extension allowed at the cost of 1/3 the original permit cost or if pre-paid at time of application 1/4 the original permit cost.
- An upfront 2-year permit is available for an additional 1/2 the original permit cost.

Gravel Pits/Mining (no extensions available): 1 year permit - \$300  
Pre-pay up to 4 years available

### **OTHER FEES**

Plan Review (of submitted control plan): included in permit fee

In office plan review and consultation: \$25

On-site plan review and consultation: \$75

Reminder: Sites with severe slopes and/or plans include extensive erosion control measures should seek engineering advice prior to application submittal. Select SESC Plans may require professional engineering review. Costs incurred for engineering review will be added to total fee and invoiced to property owner.

Transfer Fee: Includes site visit, parcel review, and revised permit \$60.00

*Per R323.1712 Enforcement section of Part 91, The County or local enforcing agency may issue a cease-and-desist order or revoke a permit upon its finding that there is a violation of Part 91, a violation of the administrative rules for Part 91, a violation of an approved local ordinance, or a finding that there is a violation of a permit or an approved soil erosion and sedimentation control plan.*

Non-compliance/Administrative Fee: \$100

All permits receive regular maintenance inspections; however, a non-compliance administrative fee applies to projects requiring follow-up communications/re-inspection due to site being found in non-compliance/violation of Part 91. Fee shall be assessed per occurrence.

Late Fee for Un-permitted Project: **Double the applicable fee**

Any earthwork requiring Part 91 Soil Erosion Control Permit that commences prior to permitting shall pay double the original fee. If project continues without a permit after notice, a cease-and-desist order will be sought through local Municipality Official, and the Non-compliance Administrative Fee will be assessed weekly until permit application is filed, and proper erosion controls are in place.

#### **Notes about Part 91 Enforcement:**

*Earth changes (i.e. excavation, grading, or fill) that are greater than 500 feet from a lake or stream and that disturb less than one (1) acre are not required to obtain a permit but still need to comply with Part 91 and keep soil on site.*

*The permit must be posted visible to the road (or in accessible permit box) & control plans must be available on the site.*

*Part 91 sec. 324.9113. (2) At any reasonable time, an agent appointed by the department, a county enforcing agency, or a municipal enforcing agency may enter upon any private or public property for the purpose of inspecting and investigating conditions or practices that may be in violation of this part. However, an investigation or inspection under this subsection shall comply with the United States constitution and the state constitution of 1963.*

*If under Part 91 sec 324.9119 it has become necessary for the CCCD to contract for the construction, implementation, or maintenance of SESC measures then under 324.9120 all expenses incurred shall be reimbursed by the person who owns the land.*

*Sec. 324.9121 Violations; penalties. (b) If the action is brought by a county enforcing agency of a county that has not enacted an ordinance under this part, the person is responsible for a state civil infraction and may be ordered to pay a civil fine of not more than \$2,500.00. (2) A person who knowingly violates this part or knowingly makes a false statement in an application for a permit or in a soil erosion and sedimentation control plan is responsible for the payment of a civil fine of not more than \$10,000.00 for each day of violation. (3) A person who knowingly violates this part after receiving a notice of determination under section 9112 or 9117 is responsible for the payment of a civil fine of not less than \$2,500.00 or more than \$25,000.00 for each day of violation.*